

## **Uniform Dwelling Code Building Permit Requirements Waushara County**

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### **IMPORTANT NOTICE**

**The work you are doing under this permit must be inspected!**

**BUILDING INSPECTOR  
OFFICE HOURS  
MONDAY – FRIDAY  
8:00 – 10:30 AM**

Office hours for plan review and technical questions will be held at the Waushara County Courthouse, Monday through Friday, from 8:00-10:30 am. Call (920) 787-6510 for more information.

This packet is also available on the county website – [www.co.waushara.wi.us](http://www.co.waushara.wi.us)

Uniform Dwelling Codes are available online at:

[www.commerce.state.wi.us/SB](http://www.commerce.state.wi.us/SB)

## Site constructed or Manufactured 1 or 2 Family Dwellings or Additions to existing Dwellings

The following items are required to obtain a Uniform Dwelling Code Building Permit:

1. Sanitary approval/permit from Waushara County Land Conservation & Zoning Department.
2. Zoning approval/permit from Waushara County Land Conservation & Zoning Department.
3. A completed Uniform Building Permit Application (available from the Building Inspection Office).
4. 2 complete sets of building plans which include:
  - a. Floor plan, foundation plan.
  - b. Section view.
  - c. Elevations.
5. A site plan showing:
  - a. Lot lines.
  - b. Location of proposed structure.
  - c. Location of all structures on the subject property.
  - d. Location of well and septic.
  - e. Erosion control plan.

**See next page for complete plan requirements.**

6. 2 copies of the Energy Analysis calculations (ResCheck Version 4.2.2 or newer). If submitted. (See next page.)
7. Erosion control plan. (May be shown on site plan.)
8. Builders/Contractors applying for a building permit *must* supply their **Dwelling Contractors Financial Responsibility Credential** as required by Comm 20.09.
9. Builders/Contractors applying for a building permit *must* supply their **Dwelling Contractor Qualifier Credential** (effective January 1, 2008).
10. All contractors must supply their **registration number** (Electrical Contractor registration, Building Contractor Registration, HVAC Contractor Registration, Plumbers must have a registration number in addition to their Master Plumbers License number) regardless of who is obtaining the permit.
11. Homeowners applying for a building permit must sign the **Cautionary Statement to Owners** in accordance with s 101.65 (lr), Stats.
12. The **Conditions of Approval** and **Erosion Control Conditions of Approval** must be signed by the person applying for the permit.

### IMPORTANT NOTICE

The work you are doing under this permit must be inspected!

Inspections for the following must be made prior to proceeding to the next phase:

- Footings (forms in place, **prior** to pouring concrete).
- Foundation (drain tile and stone in place, **prior** to backfill).
- Underfloor plumbing (piping installed and on test).
- Basement floor (vapor barrier, drain tile, and sump crock in place **prior** to pouring concrete).
- Rough construction, electrical, plumbing and HVAC (work completed **prior** to insulation).
- Electrical service.
- Insulation (insulation and vapor barrier installed, before drywall).
- Final Inspection (all phases and trades completed, **prior** to occupancy).

To schedule an inspection, call 1-800-422-5220

Office hours for plan review and technical questions will be held at the Waushara County Courthouse, Monday through Friday, from 8:00-10:30 am. Call (920) 787-6510 for more information.

Uniform Dwelling Codes are available online at:  
[www.commerce.state.wi.us/SB/SB-DivCodesListing.html](http://www.commerce.state.wi.us/SB/SB-DivCodesListing.html)

<b>BUILDING INSPECTOR OFFICE HOURS MONDAY – FRIDAY 8:00 – 10:30 AM</b>
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## Plan requirements and items required to be on plans when applying for a Wisconsin Uniform Dwelling Permit.

A)

### Comm 20.09

(5) REQUIRED PLANS. The required building plans shall be legible and drawn to scale or dimensioned and shall include all of the following:

(a) *Site plan*. The site plan shall show all of the following:

1. The location of the dwelling and any other buildings, wells, surface waters and dispersal systems on the site with respect to property lines and surface waters adjacent to the site.
2. The areas of land-disturbing construction activity and the location of all erosion and sediment control measures to be employed in order to comply with s. Comm 21.125.8.
3. The pre-construction ground surface slope and direction of runoff flow within the proposed areas of land disturbance.

(b) *Floor plan*. 1. Floor plans shall be provided for each floor.

2. The following features shall be included on all floor plans:

- a. The size and location of all rooms, doors, windows, structural features, exit passageways and stairs.
- b. The use of each room.
- c. The location of plumbing fixtures, chimneys, heating and cooling appliances, and a heating distribution layout.
- d. The location and construction details of the braced wall lines.

(c) *Elevations*. The elevations shall show all of the following:

1. The exterior appearance of the building, including the type of exterior materials.
2. The location, size and configuration of doors, windows, roof, chimneys, exterior grade, footings and foundation walls.

B) Compliance with Comm 22.31 needs to be shown or an energy analysis needs to be submitted with the application.

C) The plumbers complete information (mailing address, phone number) along with his master plumbers license number needs to be listed on the application.

Comm 21.09(a) 6. Pursuant to s. 101.63 (7), Stats., the name and license number of the Wisconsin master plumber responsible for the installation of plumbing shall be entered on the permit by the issuing entity at the time of issuance.

D) The HVAC contractors complete information along with his HVAC contractors license number needs to be listed on the application.

The Wisconsin Uniform Dwelling Code may be viewed/downloaded/printed at:  
[www.commerce.wi.gov/sb/sb-divcodeslisting.html](http://www.commerce.wi.gov/sb/sb-divcodeslisting.html)

20.09(5) Plan Submittal Checklist (11/23/09)

This is a checklist for submitting drawings and information when making application for a Wisconsin Uniform Building Permit. Apply those portions where the dwelling has on-site construction. Do not apply to the factory-built portion that has been approved by another agency.

Drawings must be legible and drawn to scale or dimensioned and include:

1. A plot plan showing the location of the dwelling and any other buildings, erosion control and stormwater measures, wells and disposal systems on the property and property lines. For rural areas, include directions for locating dwelling. See UDC Appendix for additional information.
2. Floor plan which shows the size and locations of:
  - A. Rooms
  - B. Doors
  - C. Windows
  - D. Room use
  - E. Structural features - size, species and grade of lumber or other structural material for braced wall lines, joists, beams, rafters, trusses, headers, studs, and columns; strength, thickness, and reinforcement (if any) of concrete for footings, foundations, floors and any other concrete work; height and thickness of concrete and/or masonry construction. Include structural calculations if designed per UDC or manufacturer's tables.
  - F. Exit passageways (hallways) and stairs (including all stair dimensions - riser height, tread width, stair width, headroom and handrail heights)
  - G. Plumbing fixtures (bathroom, kitchen, etc.) - lavatory, water closet, water heater, softener, etc.
  - H. Chimney(s) - include also the type of construction (masonry or factory built) and rating, if metal
  - I. Heating equipment and the location of supply and return registers
  - J. Cooling equipment (central air conditioning, if provided)
  - K. Attic and crawl space access
  - L. Fire separation between dwelling and garage and between dwelling units
  - M. Lateral bracing
3. Elevation drawings which show:
  - A. Information on exterior appearance
  - B. Indicate the location, size and configuration of doors, windows, roof, chimneys and exterior grade level
4. Cross-sectional drawing which shows (see optional aid for one-story buildings):
  - A. Exterior grade level
  - B. Footing and foundation wall sizes, drain tile system and types of materials
  - C. Exterior wall construction identifying materials used (including insulation and vapor barrier)
  - D. Roof construction identifying materials used and spans (including insulation and vapor barrier)

- E. Floor construction identifying materials used and spans (including insulation, if used)
5. Any additional information to help determine compliance with the code, such as:
- A. Location of electrical outlets, lights, switches, main distribution panel and smoke detectors on floor plans
  - B. Water Calculation Worksheet for determining the size of the water distribution system.
  - C. Electrical Service Load Calculation
  - D. Manufacturer's name, model number, and input/output rating of heating appliance(s). Also include cooling appliance if central air is installed (Optional at inspector's request.)
  - E. Size and location of ventilation openings for attics and crawlspaces (can be shown on floor plans or elevation plans) (Optional at inspector's request.)
  - F. Location of any exhaust fans to be installed (Optional at inspector's request.)
  - G. Plumbing isometric plan (Optional at inspector's request.)
6. Either a completed RESCheck (available at [www.energycodes.gov](http://www.energycodes.gov)) or RemRate energy report or a completed 2009 Wisconsin UDC Compliance Certificate. If the latter option is chosen, then a separate heat loss calculation for heating plant sizing is required.

## DECKS

The following items are required to obtain a Uniform Dwelling Code Building Permit:

1. Zoning approval/permit from Waushara County Land Conservation & Zoning Department.
2. A completed Uniform Building Permit Application (available at the Building Inspection Office).
3. 2 complete sets of building plans which include:
  - a. Plan showing dimensions of deck.
  - b. Plan showing structural members (ie: joists, beams, posts, footing size).
4. A site plan showing:
  - c. Lot lines.
  - d. Location of proposed structure.
  - e. Location of all structures on the subject property.
  - f. Location of well and septic.
5. Erosion control plan.
6. Builders/Contractors applying for a building permit must supply a Dwelling Contractors Financial Responsibility Credential number as required by COMM 20.09.

### IMPORTANT NOTICE

The work you are doing under this permit must be inspected!

Inspections for the following must be made prior to proceeding to the next phase:

- Footings (forms in place, **prior** to pouring concrete).
  - Prior to decking and after decking is installed if the deck is **less** than 2 feet above grade.
- OR**
- After completion of deck if it is **more** than 2 feet above grade.

To schedule an inspection, call 1-800-422-5220

**BUILDING INSPECTOR  
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## Residential Deck Information Sheet

### Frost Footings

Required for any deck or porch that is attached or unattached serving as an exit from a dwelling that has frost footings. The minimum depth to the base of the footing is 48". Comm. 21.16

### Live Load

All decks shall be designed to support a live load of 40 pounds per square foot. Comm. 21.02

### Guardrails

Required on all decks more than 24" above grade. Rail must be 36" minimum in height. Open guardrails and stair railings must have intermediate rails or an ornamental pattern that a 4" sphere cannot pass through. Comm. 21.04 (3) (c)

### Handrails

Stair flights of more than 3 risers must have at least one handrail for the full length of the stair flight. Comm. 21.04 (3). The top of the handrail shall be at least 30" but not more than 38" above the nosing of the treads Comm 21.04 (3) (b). Handrail size & configuration shall follow Comm 21.04 (3) (b) 5.

### Stairs

Minimum width is 36" Comm. 21.04(2) (a). Maximum rise is 8" Comm. 21.04 (2) (b). Minimum tread depth is 9" Comm. 21.04 (2) (c). Tread widths and riser heights may vary by a maximum of 3/16" total. Comm. 21.04 (2) (e)

### Ramps

Comm.21.045 Slope shall not exceed 1 foot of rise in 8' of run

### Open Risers

Comm. 21.04 (2) (f) Stairways with open risers shall be constructed to prevent the through-passage of a sphere with a diameter of 4 inches or larger between any two adjacent treads.

### Cantilevers "Overhanging Joists & Beams"

Joists should not overhang beams by more than 2' Comm. 21.22 (6) (b). Beams should not overhang support posts by more than 1' unless designed through structural analysis. Comm. 21.22 (3).

### Framing Details

Header beams more than 6' and floor joists more than 8' long that frame into beams shall be supported by joist hangers or framing anchors, floor joists may be supported on ledger strips of at least 2" by 2" nominal. Comm 21.22 (7).

### Bridging

Bridging or solid blocking shall be provided on floor joists 2x10 and greater, that are 8 feet or longer in length. Comm. 21.22 (9)

### Wood Required

All exposed wood used in the construction of decks is required to be decay resistant. This includes posts, beams, joists, decking, and railings. Comm. 21.10

### Flashing

All connections between deck and dwelling shall be weatherproof. Any cuts in exterior finish shall be flashed. Comm 21.24 (3) (c) 5.

### Nails & Screws

Use only stainless steel, high strength aluminum, or hot dipped galvanized. Approved nails must be used on joist hangers per manufacturers specs.

### Special Design Note

Some deck designs may not be appropriate should the placement of a screen porch or 3 season porch on the deck platform be a future consideration.

## INSPECTIONS NEEDED

Footings need to be inspected before backfilling post or placement of concrete.

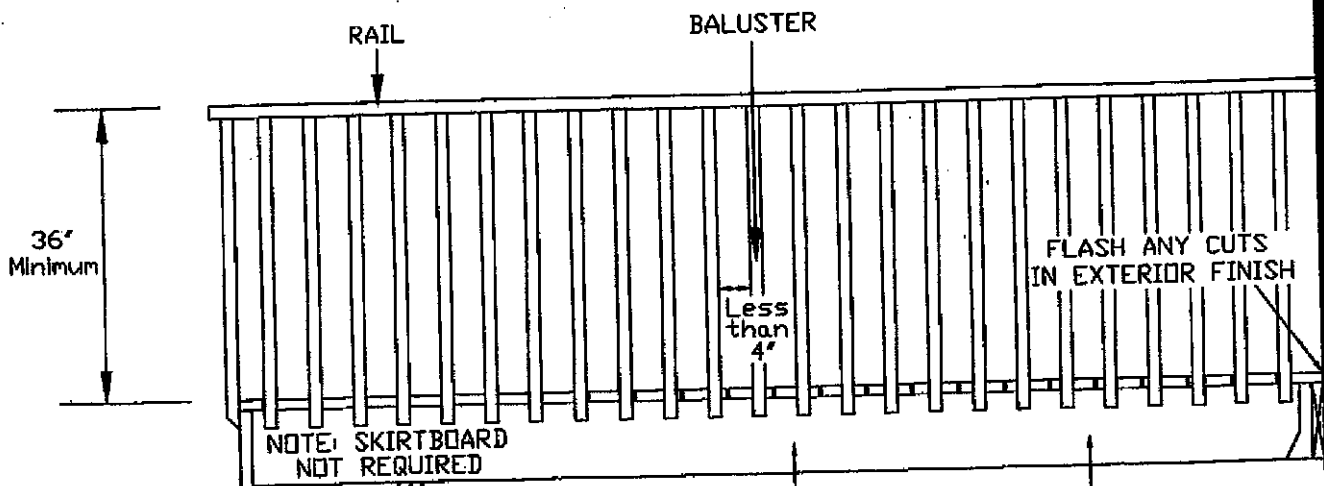
Construction Inspection required:

- Footings need to be inspected before backfilling post or placement of concrete
- Prior to decking and after if deck is less than 2 feet from grade.
- After completion if deck is more than 2 feet from grade.

Building Codes may be viewed at:

[www.commerce.wi.gov/SB/SB-DivCodesListing.html](http://www.commerce.wi.gov/SB/SB-DivCodesListing.html)

Comm 20-25 Uniform Dwelling (One and Two Family Dwelling)



**BEAM (BEST)**  
See beam & footing table.

**NOTES:**  
Any splices in beam must be over a support. All beams of 2 or more members shall be nailed together with 2 rows of 16d nails at 16" O.C.

**MANUFACTURED BEAM SUPPORT**

**JOIST**  
See Joist Span Table

**DECKING**  
16" or less Span 1" & 5/4" Over 16" Span 2"

**LEDGER**

Same size as joists. Install Lag Screws that penetrate 1-1/2" minimum into rim joist or wall studs. (Minimum two 3/8" Lag Screws every 16")  
**NOTE:** Joist hangers must be correct size for joist size used.

Jolts rest on BOTH members of beam.

**ALTERNATE BEAM (BETTER)**

TWO 1/2" CARRIAGE BOLTS WITH WASHERS

**POST**

5-1/2" Minimum (4x6 or 5x5)

Jolts rest on BOTH members of beam.

**ALTERNATE BEAM (GOOD)**

ONE 1/2" CARRIAGE BOLT WITH WASHER IF 2"x8" OR LARGER BEAM.

**POST**

3-1/2" Minimum

TWO 3/8" BOLTS WITH WASHERS THROUGH MANUFACTURED BEAM SUPPORT.

**POST**  
3-1/2" Minimum

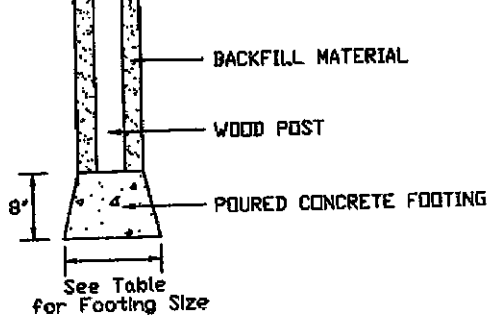
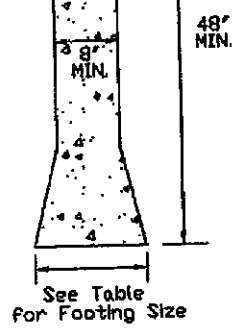
PIN OR OTHER APPROVED FASTENER

**BUILDING**

**GRADE**

**CONCRETE PIER FOOTING**

**ALTERNATE FOOTING**



See Table for Footing Size

See Table for Footing Size

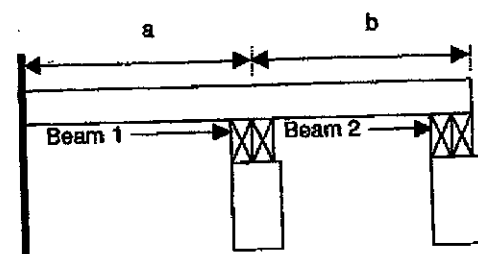
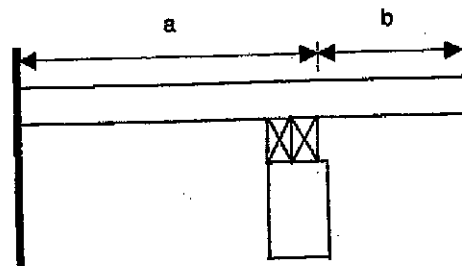
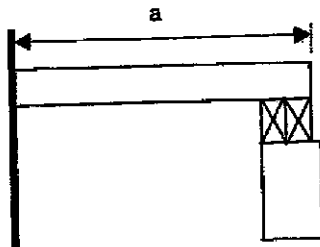
## Jolst Span

Based on No. 2 or better wood grades.

(Design Load = 40#LL + 10#DL, Deflections = L/360)

	Ponderosa Pine			Southern Pine			Western Red Cedar		
	12" OC	16" OC	24" OC	12" OC	16" OC	24" OC	12" OC	16" OC	24" OC
2x6	9-2	8-4	7-0	10-9	9-9	8-6	9-2	8-4	7-3
2x8	12-1	10-10	8-10	14-2	12-10	11-0	12-1	11-0	9-2
2x10	15-4	13-3	10-10	18-0	16-1	13-1	15-5	13-9	11-3
2x12	17-9	15-5	12-7	21-9	19-0	15-4	18-5	16-0	13-0

### Sample Calculations for Using Jolst Span, Beam Size and Footing Size Tables



Refer to tables for jolst, beam, and footing size requirements.

Example:  $a = 12'$  ; Post spacing = 6'

Use the Jolst Span table to find the acceptable jolst sizes for a 12' span, 2x8's at 12" OC; 2x10's at 16" OC; or 2x12's at 24" OC.

Use the Beam & Footing Sizes table and find the 8' post spacing column. With a 12' deck span, the beam may be either two 2x8's or two 2x10's, depending on wood used. Depending on the type of soil, the footing diameter at the base must be a minimum of 12", 10", or 9" for the corner post and 17", 14", or 12" for all intermediate posts.

Use "a" to determine jolst size and "a" + "b" to determine beam and footing sizes. The length of "b" is restricted by both the length of "a" and the size of jolsts.

Example:  $a = 8'$ ,  $b = 2'$ , Post Spacing = 10'

Refer to the Jolst Span table. For an 8' span, either 2x8's at 24" OC. Or 2x8's at 16" OC are acceptable.

For sizing the beam, use a jolst length of 10' (8' + 2') and a post spacing of 10'. The Beam and Footing Sizes table indicates that the beam may be either two 2x10's or two 2x12's, depending on the wood used. Depending on the type of soil, the footing diameter at the base must be a minimum of 13", 11", or 10" for the corner post and 18", 15", or 13" for all intermediate posts. Note that because of the 2' cantilever all footing sizes were increased by 1" as required by footnote 2 at the end of the table.

Use "a" or "b" whichever is greater, to determine jolst size. Use "a" + "b" to determine the size of Beam 1 and the post footing size for the posts supporting Beam 1. Use jolst length "b" to determine both the size of Beam 2 and the post footing size for the posts supporting Beam 2.

Example:  $a = 6'$ ,  $b = 7'$ , Post spacing = 9'

Jolst size is determined by using the longest span jolst (7'). The Jolst Span table indicates that 2x8's at 24" OC would be adequate for this span.

For Beam 1 and footings, use a jolst length of 13' (6' + 7') and a post spacing of 9'. The Beam & Footing Size table indicates that a beam may be two 2x10's or two 2x12's, depending on the wood used. Depending on the type of soil, the footing diameters for Beam 1 posts shall be 13", 11", or 9" for the corner (outside) post and 19", 15" or 13" for all intermediate posts. For Beam 2 and footings use a jolst length of 7' and post spacing of 9'. The beam may be two 2x8's or two 2x10's depending on wood used. Depending on the type of soil, the footing diameters for Beam 2 shall be 10", 8", or 7" for the corner posts, and 14", 11" or 10" for all intermediate posts.

# Beam & Footing Sizes

Based on No.2 or better Ponderosa Pine and Southern Pine  
(Treated for weather and/or ground exposure)

		Post Spacing											
		4'	5'	6'	7'	8'	9'	10'	11'	12'	13'	14'	
JOIST LENGTH	6'	Southern Pine Beam	1-2x6	1-2x6	1-2x6	2-2x6	2-2x6	2-2x6	2-2x6	2-2x6	2-2x10	2-2x10	2-2x10
		Ponderosa Pine Beam	1-2x6	1-2x6	1-2x6	2-2x6	2-2x6	2-2x6	2-2x10	2-2x10	2-2x10	2-2x12	2-2x12
		Corner Footing	6 5 4	7 6 5	7 6 5	8 7 6	9 7 6	9 7 6	10 8 7	10 8 7	10 8 7	10 9 7	11 9 8
	7'	Southern Pine Beam	1-2x6	1-2x6	1-2x6	2-2x6	2-2x6	2-2x6	2-2x6	2-2x10	2-2x10	2-2x10	2-2x10
		Ponderosa Pine Beam	1-2x6	1-2x6	1-2x6	2-2x6	2-2x6	2-2x6	2-2x10	2-2x10	2-2x10	2-2x12	3-2x10
		Corner Footing	7 5 5	7 6 5	8 7 6	9 7 6	9 8 7	10 8 7	10 8 7	11 9 8	11 9 8	12 10 9	12 10 9
	8'	Southern Pine Beam	1-2x6	1-2x6	2-2x6	2-2x6	2-2x6	2-2x6	2-2x6	2-2x10	2-2x10	2-2x10	2-2x12
		Ponderosa Pine Beam	1-2x6	2-2x6	2-2x6	2-2x6	2-2x6	2-2x6	2-2x10	2-2x10	2-2x10	3-2x10	3-2x12
		Corner Footing	7 6 5	8 6 6	9 7 6	9 8 7	10 8 7	10 8 7	11 9 8	11 9 8	12 10 9	13 10 9	13 11 9
	9'	Southern Pine Beam	1-2x6	1-2x6	2-2x6	2-2x6	2-2x6	2-2x6	2-2x10	2-2x10	2-2x10	3-2x10	3-2x12
		Ponderosa Pine Beam	1-2x6	2-2x6	2-2x6	2-2x6	2-2x6	2-2x10	2-2x10	2-2x10	3-2x10	3-2x10	3-2x12
		Corner Footing	7 6 5	8 7 6	9 7 6	10 8 7	10 9 7	11 9 8	12 10 8	12 10 9	13 10 9	13 11 9	14 11 10
10'	Southern Pine Beam	1-2x6	1-2x6	2-2x6	2-2x6	2-2x6	2-2x6	2-2x10	2-2x10	2-2x12	3-2x10	3-2x12	
	Ponderosa Pine Beam	1-2x6	2-2x6	2-2x6	2-2x6	2-2x6	2-2x10	2-2x10	2-2x12	3-2x10	3-2x12	Eng. Bm.	
	Corner Footing	8 6 6	9 7 6	10 8 7	10 8 7	11 9 8	12 10 8	12 10 9	13 11 9	14 11 10	14 12 10	15 12 10	
11'	Southern Pine Beam	1-2x6	2-2x6	2-2x6	2-2x6	2-2x6	2-2x10	2-2x10	2-2x12	3-2x10	3-2x12	Eng. Bm.	
	Ponderosa Pine Beam	2-2x6	2-2x6	2-2x6	2-2x6	2-2x6	2-2x10	2-2x12	2-2x12	3-2x10	3-2x12	Eng. Bm.	
	Corner Footing	8 7 6	9 7 6	10 8 7	11 9 8	12 9 8	12 10 9	13 11 9	14 11 10	14 12 10	15 12 10	15 13 11	
12'	Southern Pine Beam	1-2x6	2-2x6	2-2x6	2-2x6	2-2x6	2-2x10	2-2x10	2-2x12	3-2x10	3-2x12	Eng. Bm.	
	Ponderosa Pine Beam	2-2x6	2-2x6	2-2x6	2-2x6	2-2x10	2-2x10	2-2x12	2-2x12	3-2x10	3-2x12	Eng. Bm.	
	Corner Footing	9 7 6	9 7 6	10 9 7	11 9 8	12 10 9	13 10 9	14 11 10	14 12 10	15 12 10	15 13 11	16 13 11	
13'	Southern Pine Beam	1-2x6	2-2x6	2-2x6	2-2x6	2-2x6	2-2x10	2-2x10	2-2x12	3-2x10	3-2x12	Eng. Bm.	
	Ponderosa Pine Beam	2-2x6	2-2x6	2-2x6	2-2x10	2-2x10	2-2x12	2-2x12	2-2x12	3-2x10	3-2x12	Eng. Bm.	
	Corner Footing	9 7 6	10 8 7	11 9 8	12 10 8	13 10 9	13 11 9	14 12 10	15 12 10	15 13 11	16 13 11	17 14 12	
14'	Southern Pine Beam	1-2x6	2-2x6	2-2x6	2-2x6	2-2x10	2-2x10	2-2x12	3-2x10	3-2x12	Eng. Bm.	Eng. Bm.	
	Ponderosa Pine Beam	2-2x6	2-2x6	2-2x6	2-2x10	2-2x10	2-2x12	3-2x10	3-2x12	3-2x12	Eng. Bm.	Eng. Bm.	
	Corner Footing	9 8 7	10 8 7	11 9 8	12 10 9	13 11 9	14 11 10	15 12 10	16 13 11	16 13 11	17 14 12	17 14 12	
15'	Southern Pine Beam	2-2x6	2-2x6	2-2x6	2-2x6	2-2x10	2-2x10	2-2x12	3-2x10	3-2x12	Eng. Bm.	Eng. Bm.	
	Ponderosa Pine Beam	2-2x6	2-2x6	2-2x6	2-2x10	3-2x10	3-2x10	3-2x12	3-2x12	3-2x12	Eng. Bm.	Eng. Bm.	
	Corner Footing	10 8 7	11 9 7	12 10 8	13 10 9	14 11 10	14 12 10	15 12 11	16 13 11	17 14 12	17 14 12	18 15 13	
16'	Southern Pine Beam	2-2x6	2-2x6	2-2x6	2-2x6	2-2x10	3-2x10	3-2x10	3-2x12	3-2x12	Eng. Bm.	Eng. Bm.	
	Ponderosa Pine Beam	2-2x6	2-2x6	2-2x6	2-2x10	3-2x10	3-2x10	3-2x12	3-2x12	3-2x12	Eng. Bm.	Eng. Bm.	
	Corner Footing	10 8 7	12 9 8	12 10 9	13 11 9	14 11 10	15 12 10	16 13 11	16 13 12	17 14 12	18 15 13	18 15 13	

**Notes:**

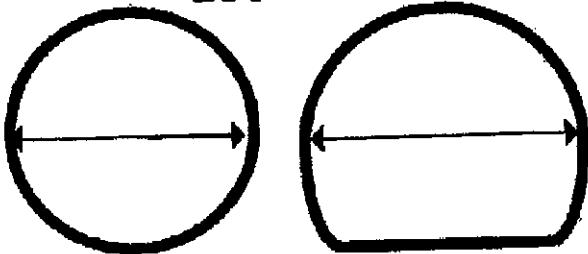
- Joist length is total length of joist, including cantilevers.
- When joist extends (cantilevers) beyond support beam by 18" or more, add 1" to footing dimensions shown.
- Requirements for future 3-season porches or screen porches:
  - Increase corner footing size shown by 90%
  - Increase center footing size shown by 55%.
  - Locate all footings at extremities of deck (no cantilevers).
  - Beam sizes indicated need not be altered.

4. All footing sizes above are base diameters (in inches) and are listed for THREE SOIL TYPES:

	CLAY	SAND	GRAVEL
Corner Footing	10	8	7
Intermediate Footing	14	11	10

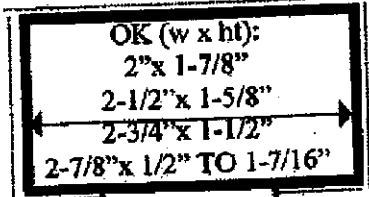
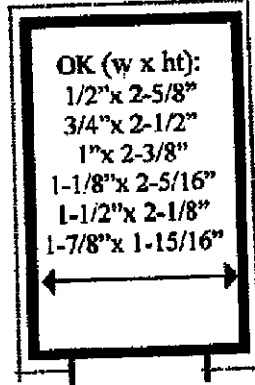
# 21.04(2)(a)5. HANDRAIL SHAPES

## ROUND



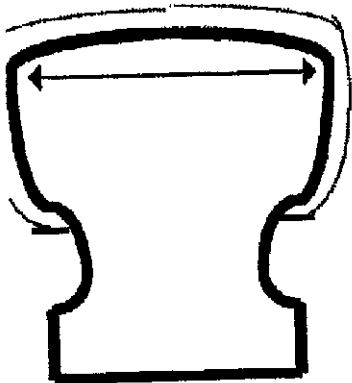
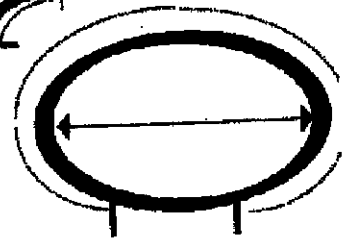
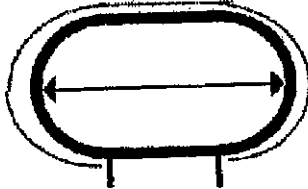
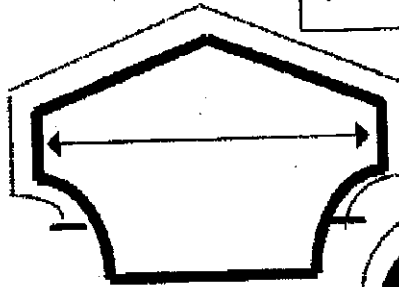
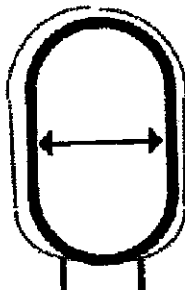
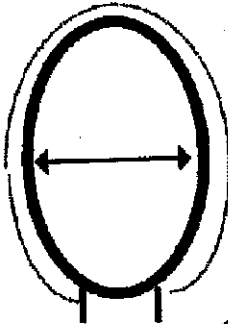
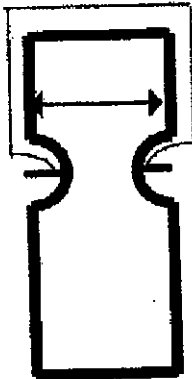
**MAXIMUM 2"  
DIAMETER**

## RECTANGULAR

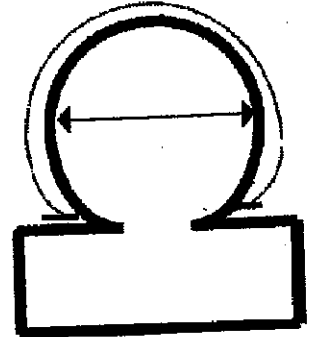


**MAXIMUM 2-7/8"  
CROSS SECTION**  
**MAX. 6-1/4"  
GRIPPING  
SURFACE INCL.  
MIN. 1/4"  
RECESS ON  
EACH SIDE**

## OTHERS



**MAXIMUM 2-7/8"  
CROSS SECTION**  
**4" TO 6-1/4" GRIPPING  
SURFACE, INCLUDING A  
MIN. 1/4" RECESS ON  
EACH SIDE**



## RESIDENTIAL DECK SPECIFICATION

Floor Joist Clear Span: \_\_\_\_\_ Floor Joist Spacing: \_\_\_\_\_

Floor Joist Size: \_\_\_\_\_ Floor Joist Species of Lumber: \_\_\_\_\_

Floor Joist Grade of Lumber: \_\_\_\_\_ Deck Floor Material: \_\_\_\_\_

Girder Beam Size: \_\_\_\_\_ Number of Members: \_\_\_\_\_

Beam Species of Lumber: \_\_\_\_\_ Beam Grade of Lumber: \_\_\_\_\_

Is the Deck Attached to the House? \_\_\_\_\_ Yes \_\_\_\_\_ No

Are the footings of the House \_\_\_\_\_ more \_\_\_\_\_ less than 48 inches below grade?

Support Post Size: \_\_\_\_\_ Post Spacing: \_\_\_\_\_ Feet \_\_\_\_\_ Inches

Footing Depth Below Grade: \_\_\_\_\_ inches

Footings: Width \_\_\_\_\_ Height \_\_\_\_\_

Use space below or the back of the sheet to draw a scale plan view of the deck.

***FEE SCHEDULE***  
***1 or 2 Family Dwellings***

- New Structure - Addition                   - \$.11 per sq. foot all floor area  
  - \$75.00 minimum
- Erosion Control                               - New \$75.00  
  - Addition \$50.00  
  - Re-inspection Fee \$75.00
- Remodel                                       - \$6.00 per thousand of valuation  
  - \$40.00 minimum
- Decks   - \$.11 per sq. foot all areas  
  - \$40.00 minimum
- Occupancy Permit \*                         - \$30.00 per dwelling unit
- UDC Seal - New Construction Only \*     - \$35.00
- Temporary Occupancy Permit             - \$50.00
- Early Start Permit                         - \$50.00 (Footings and Foundations)
- Other   - \$30.00 minimum
- HVAC   - \$35.00 plus \$.025 per sq. foot  
  - \$30.00 minimum
- Electrical                                   - \$35.00 plus \$.035 per sq. foot  
  - \$30.00 minimum
- Plumbing                                    - \$35.00 plus \$.035 per sq. foot  
  - \$30.00 minimum
- One Year Extension                         - \$100.00

\* Does not apply to additions, remodels, or decks.

**NOTE:**       **1. In addition to the fees listed above, a \$50 administrative fee is required for all projects whose total costs, including labor, materials and supplies, will equal or exceed \$15,000.**

**2. Fees for conversions from one use to another shall be the same as listed above.**

# COMMERCIAL BUILDING PERMIT REQUIREMENTS

The following items are required to obtain a Commercial Building Permit:

1. Sanitary permit from Waushara County Land Conservation & Zoning Department.
2. Zoning permit from Waushara County Land Conservation & Zoning Department.
3. A completed Uniform Building Permit Application (available at the Building Inspection Office).
4. 2 sets of either state approved plans or plans reviewed under Certified Municipality Status\*
5. Prior to applying for an occupancy permit, 1 copy of the Compliance Statement (completed by the design professional of record), for both Building and HVAC must be submitted to the Building Inspection office.

## IMPORTANT NOTICE

The work you are doing under this permit must be inspected!

Inspections for the following must be made prior to proceeding to the next phase:

- Footings (forms in place, **prior** to pouring concrete).
- Foundation (drain tile and stone in place, **prior** to backfill).
- Underfloor plumbing (piping installed and on test).
- Basement floor (vapor barrier, drain tile, and sump crock in place **prior** to pouring concrete).
- Rough construction, electrical, plumbing and HVAC (work completed **prior** to insulation).
- Electrical service.
- Insulation (insulation and vapor barrier installed, before drywall).
- Final Inspection (all phases and trades completed, **prior** to occupancy).

**To schedule an inspection, call 1-800-422-5220**

Office hours for plan review and technical questions will be held at the Waushara County Courthouse, Monday through Friday, from 8:00-10:30 am. Call (920) 787-6510 for more information.

\* Certified Municipality Plan review is available in lieu of State Approved plans. Submittal requirements are identical to the Department of Commerce requirements.

This packet is also available on the county website – [www.co.waushara.wi.us](http://www.co.waushara.wi.us).

Commercial Codes are available online at:  
[www.commerce.state.wi.us/SB/SB-DivCodesListing.html](http://www.commerce.state.wi.us/SB/SB-DivCodesListing.html)

**BUILDING INSPECTOR  
OFFICE HOURS  
MONDAY – FRIDAY  
8:00 – 10:30 AM**

**FEE SCHEDULE  
COMMERCIAL STRUCTURES**

**1. New Structure - Addition**

- a. Multi-Family (3 family or more), Motels, CBRF - \$.12/s.f.
- b. Mercantile, Restaurants, Taverns, Assembly Halls, Offices - \$.12/s.f.
- c. Schools, Institutional, Hospitals - \$.13/s.f.
- d. Manufacturing and Industrial - \$.11/s.f. (Office area to follow fees in b.)
- e. Vehicle Repair and Vehicle Storage - \$.13/s.f.
- f. Warehouse, Mini Warehouse, Building Shells\* for Multi-Tenant Buildings - \$.07/s.f.  
(Office area to follow fees in b.)
- g. Build-Out - See above New Structure fees a-f
- h. Special Occupancies - \$.08/s.f.
- i. The above referenced permits (a-h) have a \$75.00 minimum permit fee

**Erosion Control - \$175.00 for the first acre then \$75.00/acre or portion thereof**

- 2. Remodel - \$7.00 per thousand of valuation**  
- \$75.00 minimum
- 3. Occupancy, Temporary Occupancy, Change Of Use Permit - \$50.00 per unit**
- 4. Commercial Plan Review - Certified Municipality per COMM 2.31
- 5. Early Start Permit - \$75.00 (Footings and Foundations per COMM 61.32)
- 6. Other - \$75.00 minimum
- 7. One Year Extension - \$100.00

**B. MISCELLANEOUS**

- 1. Re-inspection Fee - \$30.00 each  
Failure to call for inspection - \$30.00 each  
Double Fees are due if work is started before the permit is issued.

**NOTE:**

- 1. In addition to the fees listed above, a \$50 administrative fee is required for all projects whose total costs, including labor, materials and supplies, will equal or exceed \$15,000.**
- 2. Fees for conversions from one use to another shall be the same as listed above.**

# EROSION CONTROL REGULATIONS

Erosion control and stormwater regulations can be complex. Local, state and, in some cases, federal regulations may apply. Before construction make sure you have the appropriate permits.

## LOCAL ORDINANCES

Check with your county, city, village, or town for any local erosion control ordinances including shoreland zoning requirements. Except for new 1- & 2-family dwellings, local ordinances may be more strict than state regulations. They may also require erosion control on construction projects not affected by state or federal regulations.

## UNIFORM DWELLING CODE (DEPT. OF COMMERCE)

### CONTROLS REQUIRED

- Silt fences, straw bales, or other approved perimeter measures along downslope sides and side slopes.
- Access drive.
- Straw bales, filter fabric fences or other barriers to protect on-site sewer inlets.
- Additional controls if needed for steep slopes or other special conditions.

### FOR MORE INFORMATION, CONTACT:

- Local building inspector
- Department of Commerce, Safety and Buildings Division, P.O. Box 7970, Madison, Wis. 53707-7970, (608) 267-5113.

## STORMWATER PERMIT (DEPT. OF NATURAL RESOURCES)

### CONTROLS REQUIRED

- Erosion control measures specified in the *Wisconsin Construction Site Best Management Practice Handbook*.
- Measures to control storm water after construction.

### FOR MORE INFORMATION, CONTACT

- Department of Natural Resources, Storm Water Permits, P.O. 7921, Madison, WI 53707-7921, (608) 267-7694.

For more assistance on plan preparation, refer to the Wisconsin Uniform Dwelling Code, the DNR *Wisconsin Construction Site Best Management Handbook*, and UW-Extension publication *Erosion Control for Home Builders*. The *Wisconsin Uniform Dwelling Code* and the *Wisconsin Construction Site Best Management Handbook* are available through the State of Wisconsin Document Sales, (608) 266-3358.

*Erosion Control for Home Builders* (GWQ001) can be ordered through Extension Publications, (608) 262-3346 or the Department of Commerce, (608) 267-4405. A PDF version of *Erosion Control for Home Builders* (GWQ001) and *Standard Erosion Control Plan* are also available at <http://clean-water.uwex.edu/pubs/sheets>

This publication is available from county UW-Extension offices or from Extension Publications, 45 N. Charter St., Madison, WI 53715. (608) 262-3346 or toll-free (877) 947-7827. A publication of the University of Wisconsin-Extension in cooperation with the Wisconsin Department of Natural Resources and the Wisconsin Department of Commerce.



**Extension**

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GWQ001A Standard Erosion Control Plan for 1 & 2 Family Dwelling Construction Sites

DNR WT-458-96

R-03-02-2M-10-S

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